

# WINDFIELD FARMS

RIO  CAN

# PRIME RETAIL SPACE IN GROWING NORTH OSHAWA

 Simcoe St. & Winchester Rd.

## CENTRE HIGHLIGHTS



**2020**

EXPECTED COMPLETION  
OF PHASE 1

**2022**

EXPECTED COMPLETION  
OF FULL DEVELOPMENT



**~200,000 SQ. FT.**

OF PRIME SPACE  
IN PHASE 1

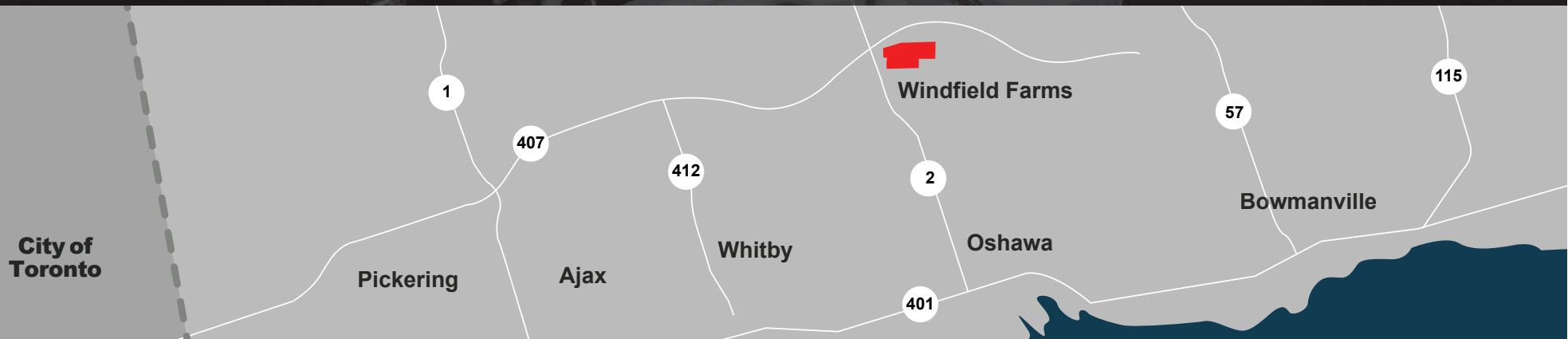
**850,000 SQ. FT.**

OF PRIME SPACE IN  
FULL DEVELOPMENT

**\$127,253**

PROJECTED 2021 AVERAGE  
HOUSEHOLD INCOME  
(Within 10 min drive time)

Source:  
Environics Analytics Demostats, 2018





# PHASE 1

Q3 2020 occupancy  
200,000 sq. ft. available



## Legend

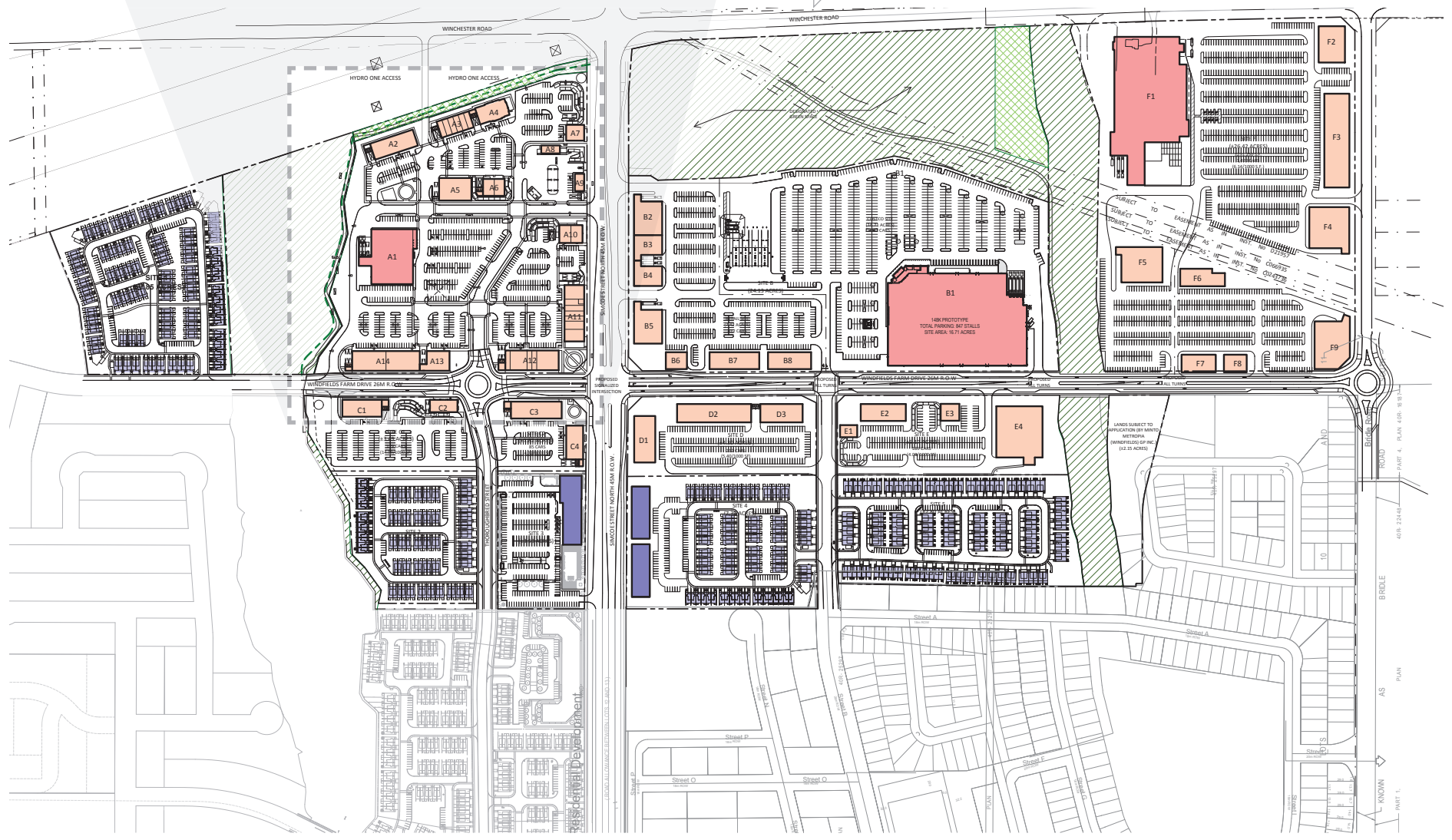
- Retail
- Anchor
- Proposed Open Space & Recreation
- Available

This site plan is presented solely for the purpose of identifying the approximate location and size of the building, and intended for use as a reference only.

**HIGHWAY 407**  
 Just north of Windfield Farms  
 with interchange at Simcoe Street

### Legend

- Retail
- High Density Residential
- Anchor
- Designated Open Space & Recreation
- Medium Density Residential
- Proposed Open Space & Recreation





# Windfield Farms Residential Development Map

### Legend

- Windfield Farms Retail Site
- Windfield Farms Residential Area
- Residential
- Educational Institution
- Highway 407

## Town of Brooklin:

👤 Existing population 20,006  
Source: Environics Analytics Demostats, 2018

👤 Long-Term Ultimate Population by 2031 80,670  
Source: Brooklin Study, Secondary Plan and Transportation Master Plan 2015, Table 9

## Colombus Subdivision:

🏠 5,300 total dwellings planned over next 5-10 years  
👤 Total expected population: 15,170

Source: The City of Oshawa Planning Department, January 2019

## New 407 Extension (OPEN!)

## Windfield Farms Residential Areas:

🏠 4,131 existing units  
🏠 1,263 additional units proposed

Source: The City of Oshawa Planning Department, January 2019

**Windfield Farms Retail Site**

🏠 3,680 existing dwellings

Source: Environics Analytics Demostats, 2018

## Kedron Subdivision:

🏠 8,070 total dwellings planned over next 5-7 years  
👤 Total population expected: 24,000

Source: The City of Oshawa Planning Department, January 2019

## Durham College

🎓 11,000 full-time students  
Source: Durham College Fact Sheet, Jan 2019.  
[www.durhamcollege.ca/about/governance/fact-sheet](http://www.durhamcollege.ca/about/governance/fact-sheet)

## University of Ontario

🎓 10,000+ students  
Source: University of Ontario About Page, 2019, [www.uoit.ca](http://www.uoit.ca)

## 2021 TRADE AREA PROJECTIONS

	10 MIN DRIVE	15 MIN DRIVE
<b>Total Population</b>	101,469	265,460
<b>Median Age</b>	37	40
<b>Total Households</b>	33,987	92,904
<b>Avg. Household Size</b>	2.97	2.83
<b>Total Number of Children</b>	27,126	62,285
<b>Avg. Household Income</b>	\$127,253	\$123,092

Source: Environics Analytics Demostats, 2018

Windfield Farms is located in Oshawa, Ontario, one of the fastest growing areas of the Greater Toronto Area and predicted to reach a population of 176,000 by 2025 with 4,000+ new homes recently built and 1,200+ planned over the next 3 to 5 years in the immediate area. Situated at Simcoe Street and the Highway 407 extension, with a newly completed interchange located just north of the development. The stage is set for long-term intensification too, as this designated, regional retail site can accommodate a total of 850,000 sq. ft. of development.

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## LEASING INQUIRIES

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